



# Department of Purchasing & Contract Compliance

*Cecil S. Moore, CPPO, CPPB, CPSM, C.P.M., A.P.P*  
*Director*

Fulton County, GA

September 1, 2011

Re: **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**

Dear Proposers:

Attached is one (1) copy of Addendum 5, hereby made a part of the above referenced for **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**.

Except as provided herein, all terms and conditions in the **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II** referenced above remain unchanged and in full force and effect.

Sincerely,

*Joyce Daniel*

Joyce Daniel, CPPB  
Assistant Purchasing Agent

Winner 2000 - 2009 Achievement of Excellence in  
Procurement Award • National Purchasing Institute



**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**  
**Addendum No. 5**  
**Page Two**

This Addendum forms a part of the contract documents and modifies the original ITB documents as noted below:

The Roof Sampling and Analysis Report-Carnes Justice Building, 160 Pryor Street S.W., Atlanta, Georgia 30303 is attached for clarification. See Attachment A.

**ACKNOWLEDGEMENT OF ADDENDUM NO. 5**

The undersigned proposer acknowledges receipt of this addendum by returning one (1) copy of this form with the proposal package to the Department of Purchasing & Contract Compliance, Fulton County Public Safety Building, 130 Peachtree Street, Suite 1168, Atlanta, Georgia 30303 by the ITB due date and time **Monday, September 19, 2011, 11:00 A.M.**

This is to acknowledge receipt of Addendum No. 5, \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Legal Name of Bidder

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Title

**ATTACHMENT A**  
**ROOF SAMPLING AND ANALYSIS REPORT**



# RAYMOND

E N G I N E E R I N G

**ROOF SAMPLING AND ANALYSIS  
CARNES JUSTICE BUILDING  
160 PRYOR STREET  
ATLANTA, GEORGIA 30303**



**Prepared for:  
First Infinity Construction, Inc.  
1527 Nabell Avenue  
Atlanta, Georgia 30344**

**July 22, 2011**

**Joe Pepper, R.R.O.**

**Raymond Ramos, P.E., R.R.C.**



## **1. Assignment**

- 1.1.** Subject: Observe Roof Openings and Analysis
- 1.2.** Location: 160 Pryor Street, Atlanta, Georgia
- 1.3.** Purpose: At selected openings, examine substrate conditions and perform a limited laboratory analysis of samples.

## **2. Scope of Services**

- 2.1.** To visually inspect the materials removed at each opening measure thicknesses of insulation. Check the substrate with a Delmhorst meter to determine whether moisture is present at the openings.
- 2.2.** Freeze membrane samples and then separate plies in order to determine the number of plies present, and identify any issues discovered during the examination.
- 2.3.** Prepare a report of findings.

## **3. Participating Personnel**

The following personnel were either contacted or were present during the inspection of the subject facility:

- 3.1.** Mr. Joe Pepper, R.R.O., Raymond Engineering-Georgia, LLC
- 3.2.** Mr. Bernard Queen, Jr., First Infinity Construction, Inc.
- 3.3.** Mr. Frederick Pope, First Infinity Construction, Inc.

## **4. Delmhorst Reference Scales**

### **4.1 Concrete or Masonry**

- 0 – 100 Reference Scale
- 0 – 85: Sufficiently dry moisture level.
- 85 – 95: Borderline situation.
- >95: Material is too wet for most applications.

#### **4.2 Wood (Used for Insulation)**

- 6% - 40% Reference Scale
- 6% - 15%: Sufficiently dry moisture level.
- 15% - 17%: Borderline Situation.
- >17%: Material is too wet for most applications

#### **5. Field Inspections**

A visual inspection of three openings was performed at the above referenced facility on July 22, 2011 to evaluate existing conditions. Our observations were as follows:

**5.1.** Three openings approximately 12"x 12" were made at selected locations to evaluate the condition of the roof assembly. The membrane was retained for further examination. In general, the roof system consists of a granular SBS cap sheet, multiple layers of fiber glass felt, mineral perlite and isocyanurate roof insulation on a concrete deck. Two plies of felt are applied in asphalt on the concrete deck. The results were as follows:

- 5.1.1. Opening No. 1: Located on the upper roof at a ridge approximately 36 feet from the south wall and 53 feet from the east wall. Membrane is fully adhered to the insulation. Roof insulation is nominal 2" thick mineral perlite and is dry to the touch. Isocyanurate roof insulation is nominal 8" thick and was mainly dry to the touch. A small area was wet to the touch. Delmorst reading of 46.5 on the concrete deck indicated a sufficiently dry moisture level. See Photograph Nos. 1 – 3.
- 5.1.2. Opening No. 2: Located on the upper roof at a valley approximately 16 feet from the south wall and 26 feet from the west wall. Membrane is fully adhered to the insulation. Roof insulation is nominal 1-1/4" thick mineral perlite and is wet to the touch. Isocyanurate roof insulation is nominal 1-1/2" thick and is wet to the touch. Delmorst reading of 11.8 on the concrete deck measured no significant amount of moisture in the deck. However, there was water between the felt plies on the deck and the isocyanurate insulation. See Photograph Nos. 4 - 8.

5.1.3. Opening No. 3: Located on the lower roof approximately 8 feet in from the south wall and 23 feet from the east wall. Membrane is fully adhered to the insulation. Roof insulation is nominal 1 1/2" thick mineral perlite and is wet to the touch. Isocyanurate roof insulation is nominal 2-1/2" thick and was wet to the touch. Delmorst reading of 52.4 on the concrete deck measured no significant amount of moisture in the deck. See Photograph Nos. 9 – 12.

**6. Laboratory Analysis**

On July 27, 2011, frozen membrane samples were separated to determine the number of plies present.

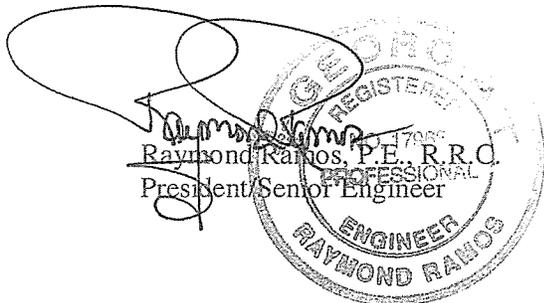
6.1 The samples taken from the three openings consisted of three plies of glass fiber felts and one ply of SBS granular cap sheet. The plies were adhered to each other and the mineral perlite roof insulation with asphalt. Drawing PR-1 shows a cross section of each sample.

**7. Closure**

We trust that this report will assist you in analyzing your roofing issues. If you should have any questions regarding the contents of this report or would like to discuss its contents in further detail, please do not hesitate to contact us directly.

Respectfully submitted,  
RAYMOND ENGINEERING-GEORGIA, LLC

  
Joe Pepper, R.R.O.  
Roof Consultant

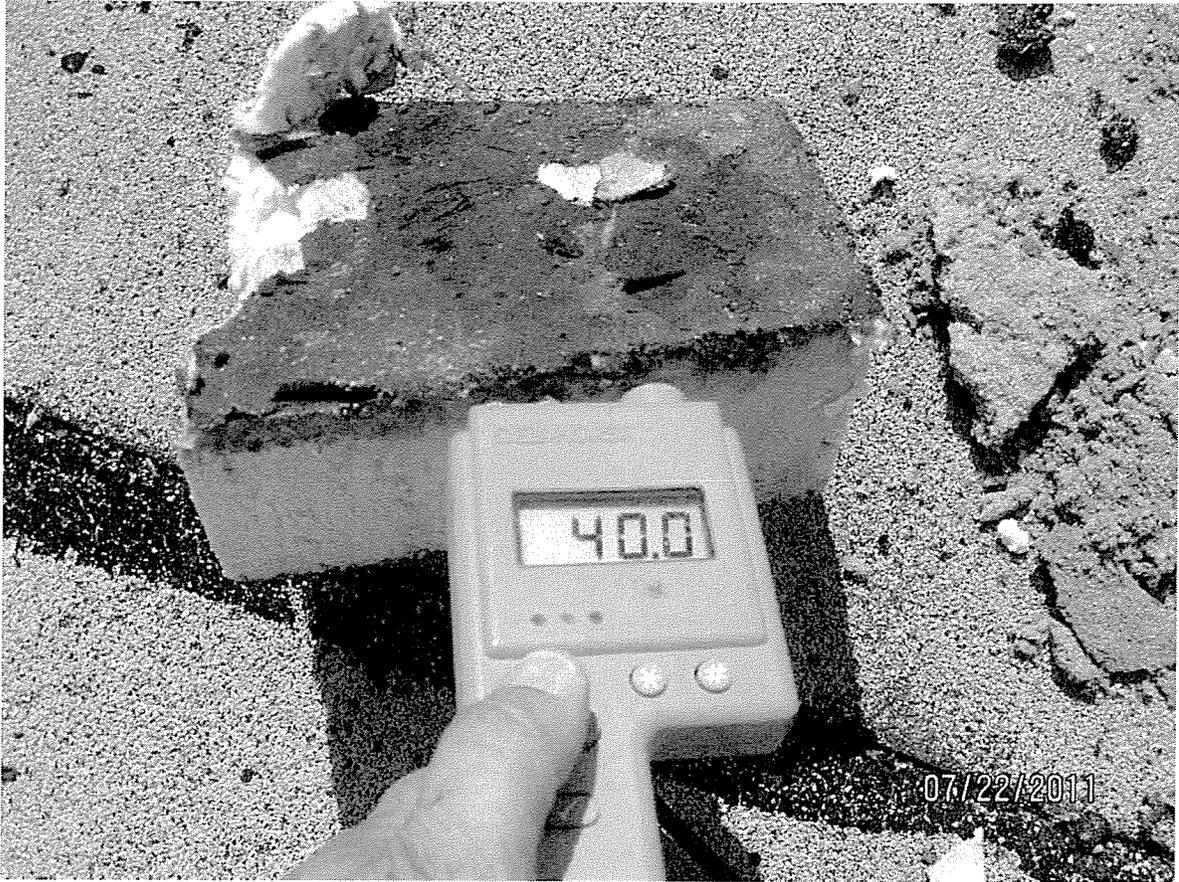




Photograph #	1	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 1.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	2	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 1. Delmhorst reading of mineral perlite is 7.3.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	3	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 1. Delmhorst reading of isocyanurate roof insulation is 40.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	4	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 2. Delmhorst reading of concrete is 11.8.		
Address:	160 Pryor Street, Atlanta, Georgia		



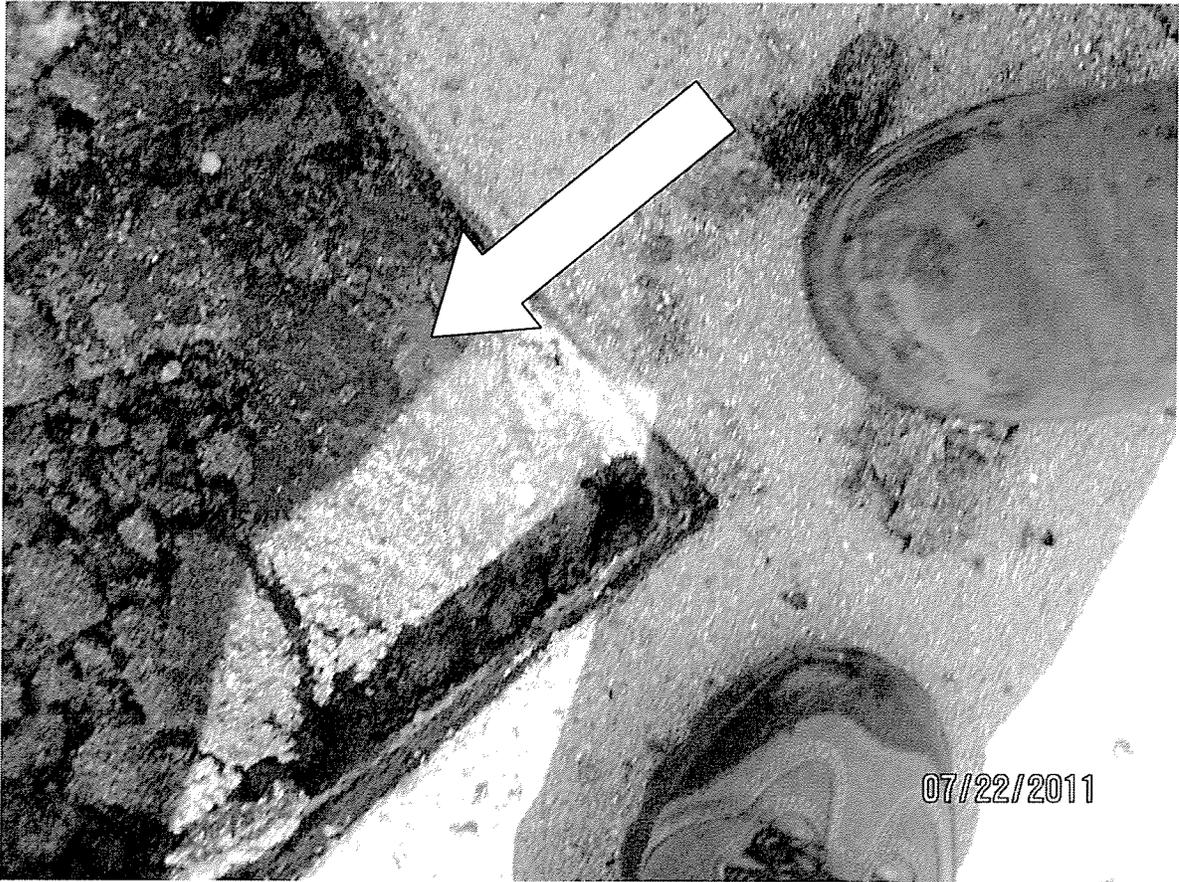
Photograph #	5	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 2. Delmhorst reading of mineral perlite is 40.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	6	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 2. Mineral perlite roof insulation is wet to the touch.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	7	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 2. Isocyanurate insulation is nominal 1-1/2" thick and is wet to the touch.		
Address:	160 Pryor Street, Atlanta, Georgia		



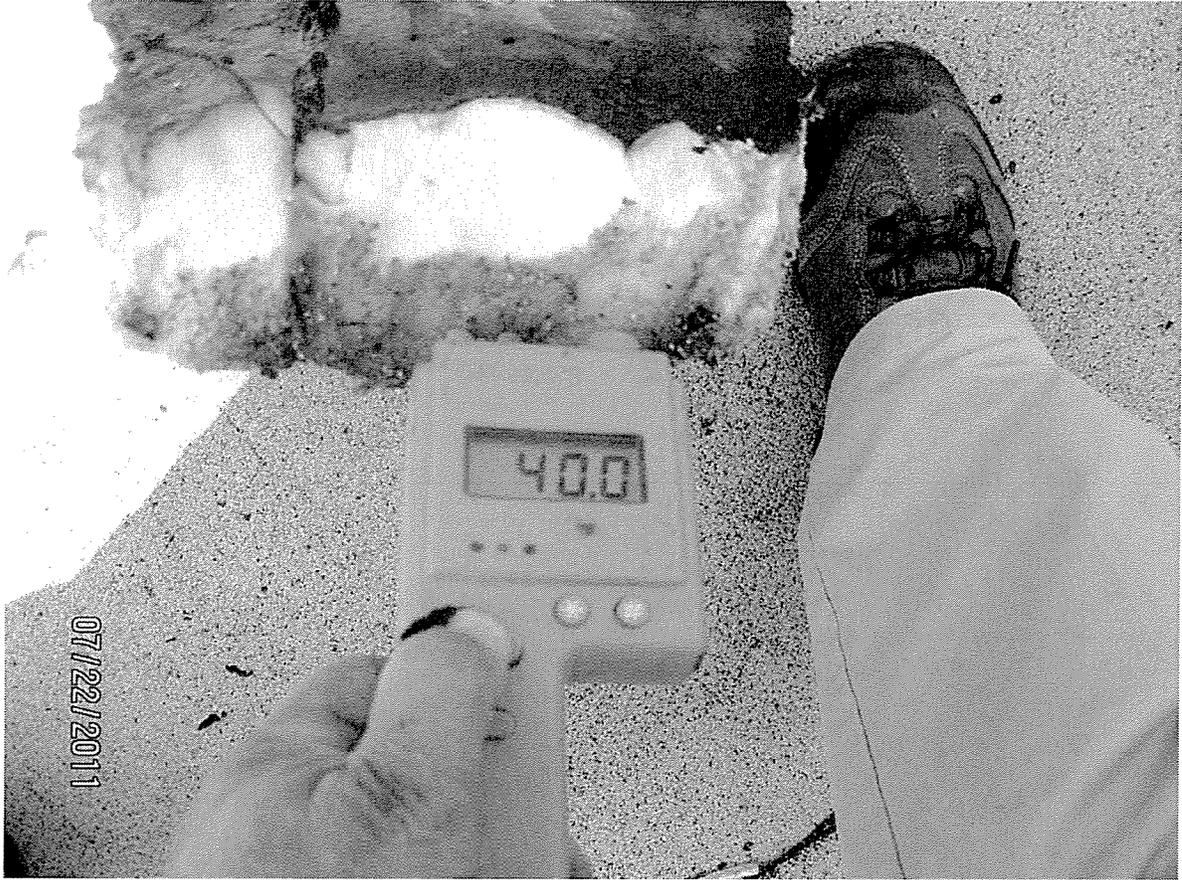
Photograph #	8	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 2. Water is visible on the vapor retarder.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	9	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 3.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	10	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 3. Delmhorst reading of concrete is 52.4.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	11	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 3. Delmhorst reading of isocyanurate insulation is 40.		
Address:	160 Pryor Street, Atlanta, Georgia		



Photograph #	12	REI Project No.	1290.001
Date Taken:	July 22, 2011		
Description of Photograph:	Opening No. 3. Delmhorst reading of mineral perlite is 40.		
Address:	160 Pryor Street, Atlanta, Georgia		







# Department of Purchasing & Contract Compliance

*Cecil S. Moore, CPPO, CPPB, CPSM, C.P.M., A.P.P*  
**Director**

Fulton County, GA

September 13, 2011

Re: **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**

Dear Proposers:

Attached is one (1) copy of Addendum 6, hereby made a part of the above referenced for **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**.

Except as provided herein, all terms and conditions in the **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II** referenced above remain unchanged and in full force and effect.

Sincerely,

*Joyce Daniel*

Joyce Daniel, CPPB  
Assistant Purchasing Agent

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**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II  
Addendum No. 6  
Page Two**

This Addendum forms a part of the contract documents and **modifies** the original ITB documents as noted below:

**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II  
due date is extended to Monday, September 26, 2011, at 11:00 A. M.**

**ACKNOWLEDGEMENT OF ADDENDUM NO. 6**

The undersigned proposer acknowledges receipt of this addendum by returning one (1) copy of this form with the proposal package to the Department of Purchasing & Contract Compliance, Fulton County Public Safety Building, 130 Peachtree Street, S.W., Suite 1168, Atlanta, Georgia 30303 by the ITB due date and time **Monday, September 26, 2011, 11:00 A.M.**

This is to acknowledge receipt of Addendum No. 6, \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Legal Name of Bidder

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Title



# Department of Purchasing & Contract Compliance

*Cecil S. Moore, CPPO, CPPB, CPSM, C.P.M., A.P.P*  
*Director*

Fulton County, GA

September 16, 2011

Re: **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**

Dear Proposers:

Attached is one (1) copy of Addendum 7, hereby made a part of the above referenced for **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**.

Except as provided herein, all terms and conditions in the **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II** referenced above remain unchanged and in full force and effect.

Sincerely,

*Joyce Daniel*

Joyce Daniel, CPPB  
Assistant Purchasing Agent

Winner 2000 - 2009 Achievement of Excellence in  
Procurement Award • National Purchasing Institute



**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II  
Addendum No. 7  
Page Two**

This Addendum forms a part of the contract documents and modifies the original ITB documents as noted below:

**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II  
due date is extended to Tuesday, September 27, 2011, at 11:00 A. M.**

**ACKNOWLEDGEMENT OF ADDENDUM NO. 7**

The undersigned proposer acknowledges receipt of this addendum by returning one (1) copy of this form with the proposal package to the Department of Purchasing & Contract Compliance, Fulton County Public Safety Building, 130 Peachtree Street, S.W., Suite 1168, Atlanta, Georgia 30303 by the ITB due date and time **Tuesday, September 27, 2011, 11:00 A.M.**

This is to acknowledge receipt of Addendum No. 7, \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Legal Name of Bidder

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Title



Fulton County, GA

# Department of Purchasing & Contract Compliance

*Cecil S. Moore, CPPO, CPPB, CPSM, C.P.M., A.P.P*  
*Director*

September 22, 2011

Re: **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**

Dear Proposers:

Attached is one (1) copy of Addendum 8, hereby made a part of the above referenced for **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**.

Except as provided herein, all terms and conditions in the **#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II** referenced above remain unchanged and in full force and effect.

Sincerely,

*Joyce Daniel*

Joyce Daniel, CPPB  
Assistant Purchasing Agent

Winner 2000 - 2009 Achievement of Excellence in  
Procurement Award • National Purchasing Institute



**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**  
**Addendum No. 8**  
**Page Two**

This Addendum forms a part of the contract documents and modifies the original ITB documents as noted below:

**Section 00300, Bid Form has been revised. See Attachment A**

**Response to Questions:**

1. Will there be another site visit?  
**No, there will not be another site visit.**
2. If the project manager has received the results of the roof cores, can they be released so that the contractors can work on access plans?  
**Yes information related to the roof cores that were sampled and evaluated will be posted as an addendum.**

**Base Bid**

1. The project manual states that the live load of the roof system is 20 pounds per square foot. Is that correct?  
**Yes this amount is correct.**
2. Are **ALL** existing sealants to be replaced? Joint sealants are noted but the stone to metal at the windows are not addressed.  
**Yes, all existing sealants should be replaced.**
3. Other damage noted that is not covered in the scope of work include the repair of spalled concrete at the foundation and cracks in the green granite intermediate panels between the windows. Will these items be addressed?  
**No, these items should not be part of your bid, as the County does not have a final count or quantity of items that fall into this category. The County will determine when and how these items will be addressed.**
4. The existing floor-to-wall sealants are failing in several locations. Will they be added to the work?  
**The County will determine when and how these items will be addressed. They should be included in your bid.**
5. Will the Contractor be responsible for removing and reinstalling the existing electrical conduit and related components at the coping of the low wall above the alley?  
**Yes.**
6. Will the existing walkway cover be reinstalled as the work is completed?  
**Yes.**

7. Is the Contractor responsible for relocating the security cameras or will the Contractor coordinate with the Owner's security personnel?  
**The contractor should not relocate any cameras. The temporary removal and reinstallation of existing cameras to facilitate the completion of work under the subject contract will be coordinated by the County with the Fulton County Sheriff's Office.**
8. Can scaffolding be erected and left in place on a daily basis in ALL work areas? Including the alley area between the Carnes building and the courthouse?  
**Appropriate permits from the Jurisdiction having Authority (City of Atlanta) will determine where scaffolding can be placed, and the duration that it will be allowed to remain in place.**
9. To insure "apples to apples" pricing, please provide a base bid quantity for the tuck point repairs and revise the bid form to include a unit rate for same.  
**Costs for tuck point repairs should be included in your base bid. The bid form will not be revised to reflect a line item price for tuck pointing.**
10. Given the fact that this work is after hours and on weekends, will it be allowable to have periodic street closures on both Pryor Street and Mitchell Street?  
**Appropriate permits from the Jurisdiction having Authority (City of Atlanta) will be required for street and lane closures. The permitting authority will dictate what street closures will be allowed.**

Alternate 1

11. What is the core sampling of the roof? Is the existing slope in the deck?  
**Core samples were taken from several areas of the roof to measure thickness of roof material, number of plies, and moisture content in the substrate.**
12. Is asbestos present in the existing roof membrane or flashing?  
**Test results for the presence of ACM's in the existing roof will be published in an addendum.**
13. TPO membrane is specified on the Bid Form and Division 7 of the specifications is written to Bituminous Damp proofing – What are we installing?  
**The TPO membrane.**
14. Item 3 of the Bid Form – "Upon inspection make all repairs to the roof deck." Are we performing structural or non-structural repairs? What materials are to be used?  
**Non-structural repairs are included in the scope of work. Structural repairs that will be needed will be addressed on a case-by-case basis.**
15. Item 7 of the Bid Form – "Install new wood nailer, sheet metal flashing and coping at parapet walls". Is the existing Marble Coping is to be reinstalled?  
**Marble coping is to be reinstalled.**

16. Item 10 of the Bid Form – “Provided rubberized padded walkway matting...” Wouldn’t a walk-pad compatible to the roof system installed be acceptable for warranty?  
**Remove the word rubberized from this sentence and replace with padded walkway matting material that is compatible with the roofing material being installed (in accordance with roof product manufacturer’s recommendations/specifications.)**

Alternate 2

17. What is the core sampling of the roof? Is the existing slope in the deck?  
**Core samples were taken from several areas of the roof to measure thickness of roof material, number of plies, and moisture content in the substrate.**
18. Is asbestos present in the existing roof membrane or flashing?  
**Test results for the presence of ACM’s in the existing roof will be published in an addendum.**
19. TPO membrane is specified on the Bid Form and Division 7 of the specifications is written to Bituminous Damp proofing – What are we installing?  
**The TPO membrane.**
20. Item 3 of the Bid Form – “Upon inspection make all repairs to the roof deck.” Are we performing structural or non-structural repairs? What materials are to be used?  
**Non-structural repairs are included in the scope of work. Structural repairs that will be needed will be addressed on a case-by-case basis.**
21. Item 7 of the Bid Form – “Install new wood nailer, sheet metal flashing and coping at parapet walls.” Is the existing Marble Coping is to be reinstated?  
**Marble coping is to be reinstated.**
22. Item 10 of the Bid Form – “Provided rubberized padded walkway matting...” Wouldn’t a walk-pad compatible to the roof system installed be acceptable for warranty?  
**See response to question #26 below.**
23. Is the Bridge connecting the Carnes Justice Center and the Courthouse included in Alternate 2? If so, will we be replacing the Copper Coping with new?  
**See response to question #29 below.**
24. The Bid Form on Alt 1 and 2 specifies a TPO Membrane to be installed, in Div. 7 of the specifications a Modified Bitumen is specified which one is to be installed?  
**TPO.**
25. Core sampling of the roof indicates that the roof slope is in the insulation. Alternate 1 and 2 specifies a flat ISO Board of 2.5 inches, why are we not installing tapered insulation?  
**Tapered insulation will be installed to achieve slope.**

**#11ITB78822K-JD-Carnes Justice Center Building Wall Panel Evaluation Part II**  
**Addendum No. 8**  
**Page Five**

26. Alternates 1 and 2 specify a rubberized walk-pad, why are we not installing a material compatible with the roof membrane?  
**Several manufacturers offer walkway pads compatible with TPO roofing material.**
27. Alternates 1 and 2 calls for concrete repairs to the roof, are these repairs structural or non-structural and what are the materials to be used in these repairs?  
**Repairs at this time are non-structural. Repair material should match existing concrete.**
28. A wood nailer is specified to be installed on the top of the parapet wall, why are we installing this if the marble coping is being installed?  
**Wood nailer will be installed as needed if wood discovered deteriorated or rotted.**
29. Is the Bridge roof to be included in Alternate 2?  
**No, the Bridge is not included in Alternate 2. Fulton County is aware of this condition and may choose the option to include this work at a later date.**
30. Do we replace the metal coping and nailer on the bridge roof and if so should the coping be copper?  
**Yes, wood nailer and sheet metal coping will be replaced.**
31. Has the existing roof and flashing membranes been tested for asbestos?  
**Roof analysis does not reflect the presence of asbestos in either membrane or flashing.**

ACKNOWLEDGEMENT OF ADDENDUM NO. 8

The undersigned proposer acknowledges receipt of this addendum by returning one (1) copy of this form with the proposal package to the Department of Purchasing & Contract Compliance, Fulton County Public Safety Building, 130 Peachtree Street, Suite 1168, Atlanta, Georgia 30303 by the ITB due date and time **Tuesday, September 27, 2011, 11:00 A.M.**

This is to acknowledge receipt of Addendum No. 8, \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Legal Name of Bidder

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Title

# **ATTACHMENT A**

**Section 00300 – Bid Form  
Revised**

**BID FORM**

Submitted To: Fulton County Government

Submitted By: \_\_\_\_\_

For: **#11ITB78822K-JD – Carnes Justice Center Building Wall Panel Evaluation Part II**

Submitted on \_\_\_\_\_, 20\_\_.

The undersigned, as Bidder, hereby declares that the only person or persons interested in the Bid as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this Bid or in the Contract to be entered into; that this Bid is made without connection with any other person, company or parties making a Bid; and that it is in all respects fair and in good faith without collusion or fraud.

The Bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the Drawings and Specifications for the work and contractual documents relative thereto, and has read all instructions to Bidders and General Conditions furnished prior to the openings of bids; that he has satisfied himself relative to the work to be performed.

The Bidder proposes and agrees, if this Bid is accepted, to contract with the Board of Commissioners of Fulton County, Atlanta, Georgia, in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary, and to complete the construction of the work in full and complete accordance with the shown, noted, and reasonably intended requirements of the Specifications and Contract Documents to the full and entire satisfaction of the Board of Commissioners of Fulton County, Atlanta, Georgia, with a definite understanding that no money will be allowed for extra work except as set forth in the attached General Conditions and Contract Documents for the following prices.

THE BASE BID IS THE AMOUNT UPON WHICH THE BIDDER WILL BE FORMALLY EVALUATED AND WHICH WILL BE USED TO DETERMINE THE LOWEST RESPONSIBLE BIDDER.

The base bid may not be withdrawn or modified for a period of sixty (60) days following the receipt of bids.

**BASE BID AMOUNT** (Do not include any Bid Alternates)

\$ \_\_\_\_\_  
**(Dollar Amount In Numbers)**

\_\_\_\_\_  
**(Dollar Amount in Words)**

The Bidder agrees hereby to commence work under this Contract, with adequate personnel and equipment, on a date to be specified in a written order of the Contracting Officer and to fully complete all work under this Contract within **Five Hundred and Forty-five (545)** consecutive calendar days from notice to proceed.

### COST PROPOSAL FORM

The following form shall be used for submitting Bid Prices:

**TOTAL BASE BID AMOUNT:**

<b>BASE BID AMOUNT</b>	\$
<b>OWNER ALLOWANCE</b>	<b>\$500,000.00</b>
<b>TOTAL COST</b>	\$

**ALTERNATES:** The project will be awarded on the base bid amount. The following Alternates will be incorporated in the Contract if accepted.

**ALTERNATE 1:**

Alternate Amount		Deduction Amount	Addition Amount
Alt. 1	<p><b>– Roof Replacement – Upper Main Roof (Area A and Area C) - Approx 28,500 sq ft.</b></p> <ol style="list-style-type: none"> <li>1. Perform a Pre-job inspection for the set up of all safety equipment per OSHA guidelines.</li> <li>2. Remove the existing built-up roofing system down the concrete roof deck .</li> <li>3. Upon inspection make all repairs to roof deck.</li> <li>4. Properly dispose of all related materials</li> <li>5. Install 2.5" Polyisocyanurate insulation over the concrete roof deck using Firestone low rise insulation adhesive.</li> <li>6. Install a Firestone 60 mil TPO fully adhered roof system over the polyiso.</li> <li>7. TPO to extend to the same height, at parapet, as the existing base flashing and terminated with Firestone termination bar.</li> <li>6. Flash all drains and penetrations per Firestone's specifications.</li> <li>7. Install wood nailer, sheet metal flashing and coping at parapet walls</li> <li>8. Clean up all materials used to complete the project, properly dispose of debris.</li> <li>9. Provide a Firestone 15 year labor and material warranty.</li> <li>10- Provided rubberized padded walkway matting from the area of elevator/machine room to roof exit.</li> <li>11- Provide 2 yr contractor's installer Warranty.</li> </ol>		
	<b>BID AMOUNT ALTERNATE NO. 1</b>	\$	\$
	<b>TOTAL COST FOR ALTERNATE NO. 1</b>	\$	

**ALTERNATE 2:**

Alternate Amount		Deduction Amount	Addition Amount
Alt. 2	<p><b>Roof Replacement – Lower Roof</b> <b>(Area D, E, F) - Approx 8,000 sq ft.</b></p> <ol style="list-style-type: none"> <li>1. Perform a Pre-job inspection for the set up of all safety equipment per OSHA guidelines.</li> <li>2. Remove the existing built-up roofing system down the concrete roof deck.</li> <li>3. Upon inspection make all repairs to roof deck.</li> <li>4. Properly dispose of all related materials</li> <li>5. Install 2.5" Polyisocyanurate insulation over the concrete roof deck using Firestone low rise insulation adhesive.</li> <li>6. Install a Firestone 60 mil TPO fully adhered roof system over the polyiso.</li> <li>7. TPO to extend to the same height, at parapet, as the existing base flashing and terminated with Firestone termination bar.</li> <li>6. Flash all drains and penetrations per Firestone's specifications.</li> <li>7. Install wood nailer, sheet metal flashing and coping at parapet walls</li> <li>8. Clean up all materials used to complete the project, properly dispose of debris.</li> <li>9. Provide a Firestone 15 year labor and material warranty.</li> <li>10- Provided rubberized padded walkway matting from the area of elevator/machine room to roof exit.</li> <li>11- Provide 2 yr contractor's installer Warranty.</li> </ol>		
	<b>BID AMOUNT ALTERNATE NO. 2</b>	\$	\$
	<b>TOTAL COST FOR ALTERNATE NO. 2</b>	\$	



Note: If the Bidder is a corporation, the Bid shall be signed by an officer of the corporation; if a partnership, it shall be signed by a partner. If signed by others, authority for signature shall be attached.

The full name and addresses of persons or parties interested in the foregoing Bid, as principals, are as follows:

Name	Address
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

END OF SECTION