



FULTON COUNTY



# Adamsville Health Center Redevelopment Concept Summary

December 04, 2009



# Space Program Summary

## Space Requirements

The following table provides a summary of space requirements.

The space requirements were established through the programming effort and discussion with the stakeholder departments.

- NSF = net square feet department
- BGSF = grossing factor for building circulation & and walls

Program Summary	Service NSF
<b>Core</b>	<b>1,785</b>
Building Support	1,785
<b>Drop Off Clinic</b>	<b>920</b>
Public	920
<b>General Reception</b>	<b>1,825</b>
Public	1,825
<b>Medical Center</b>	<b>7,666</b>
Behavioral Health	750
Dental	1,336
Pharm/Lab	460
Primary Care	2,360
Public Health	120
Support	1,630
Wic	1,010
<b>Other Disciplines</b>	<b>3,080</b>
Housing/Other Service Providers	200
Library/Resource Center	1,500
Staff Support	850
Work Force	530
<b>Subtotal NSF</b>	<b>15,276</b>
<b>Total BGSF=NSF * 1.6</b>	<b>24,442</b>

# Design Concept

## Courtyard Design Concepts



External courtyards provide a critical connection between interior and exterior environments and allow natural light and views into the building.

# Design Concept

## Concourse Design Concepts



An internal concourse provides open circulation and allows multiple points of access to services within the building. This space can also be used to display public art, community bulletins and information and reception space for larger groups.

# Design Concept

## Building Elements



Natural materials and architectural elements can be used to increase the building's energy efficiency while providing enhanced environments for visitors and employees alike.

# Design Concept

## Public Space Concepts Inside-Outside-Natural Light



Interior public spaces can be used to provide open space for gathering and will work toward achieving the holistic environment envisioned by the Common Ground.

# Building & Site Options

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Multiple site options were explored. , the existing site and two parcels at a property on MLK Jr. Drive.

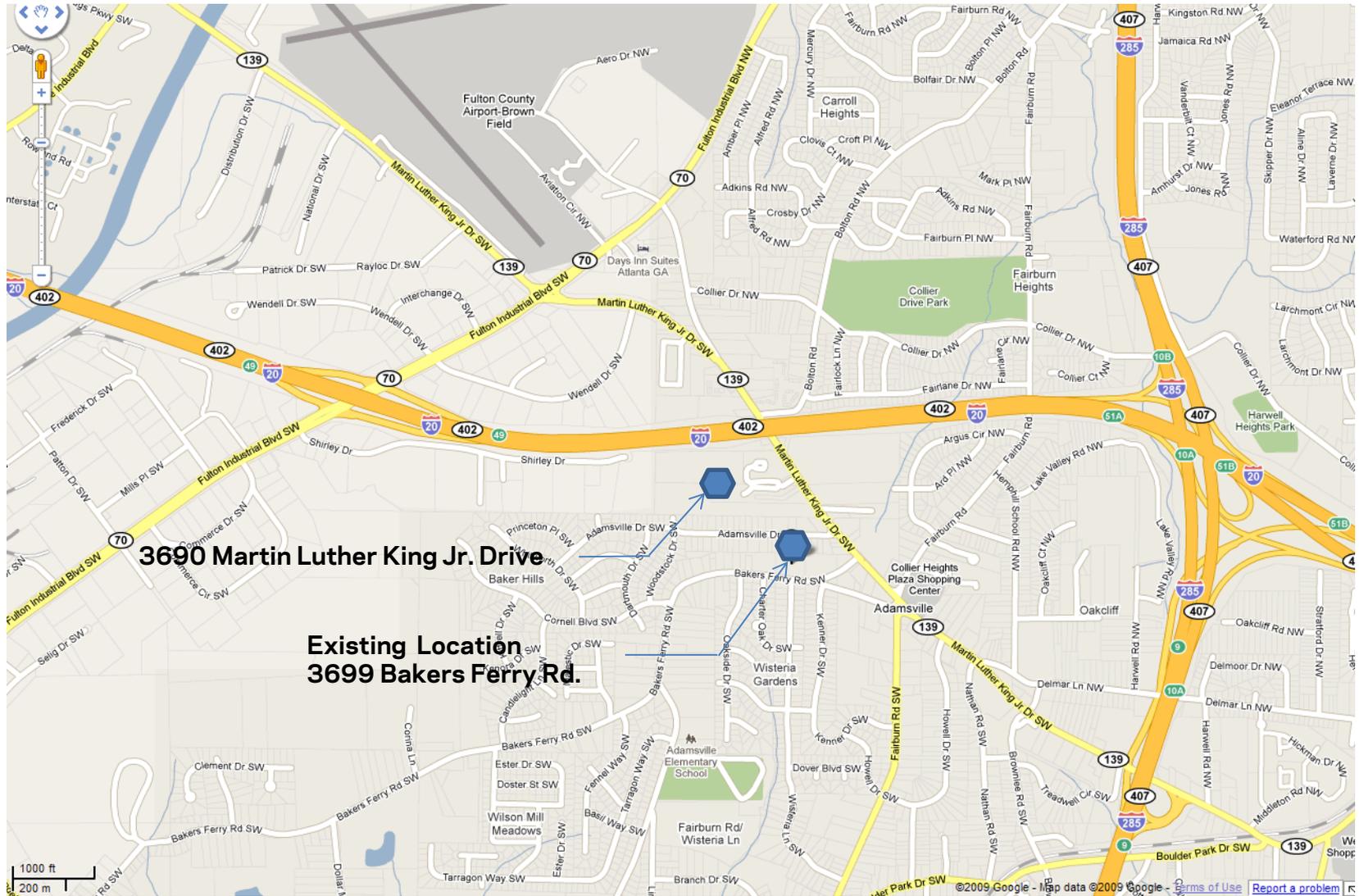
Existing Property - 3699 Bakers Ferry Rd.

- The site development of the existing 2.59 acres
- Redevelopment must include consideration of constructing a new building while preserving services in the existing center during construction.
- To achieve this and to minimize service disruption adjacent property is required.

3690 Martin Luther King Jr. Drive Property

- There is opportunity for relocation of the center to nearby [property.
- The property is expected to be developed with services that complement the health center service.
- Two parcels on the property were explored.

# Building & Site Options

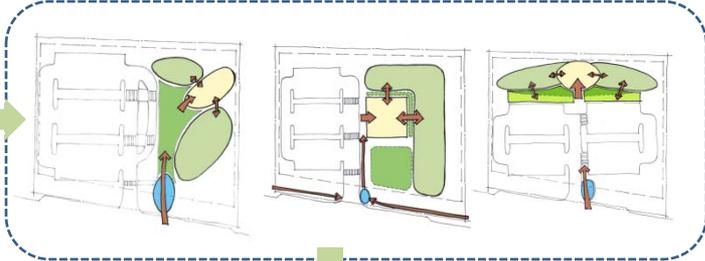
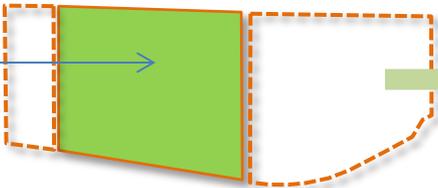


# Site Study - Existing Site

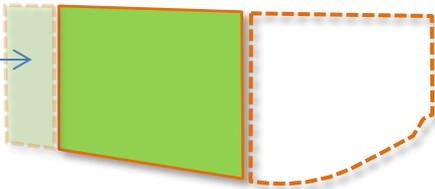


# Site Study - Existing Site & Expansion Options

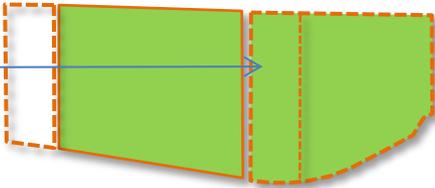
- Existing Site



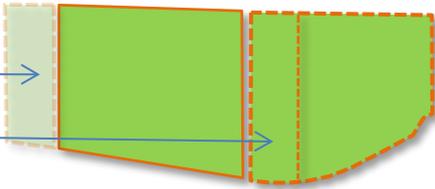
- West Property Acquisition



- East Property Acquisition



- East-West Property Acquisition



- Redevelopment and construction on existing property will disrupt services and require temporary relocation.
- To minimize service disruption adjacent property acquisition is required for redevelopment.



# Building Design Concept

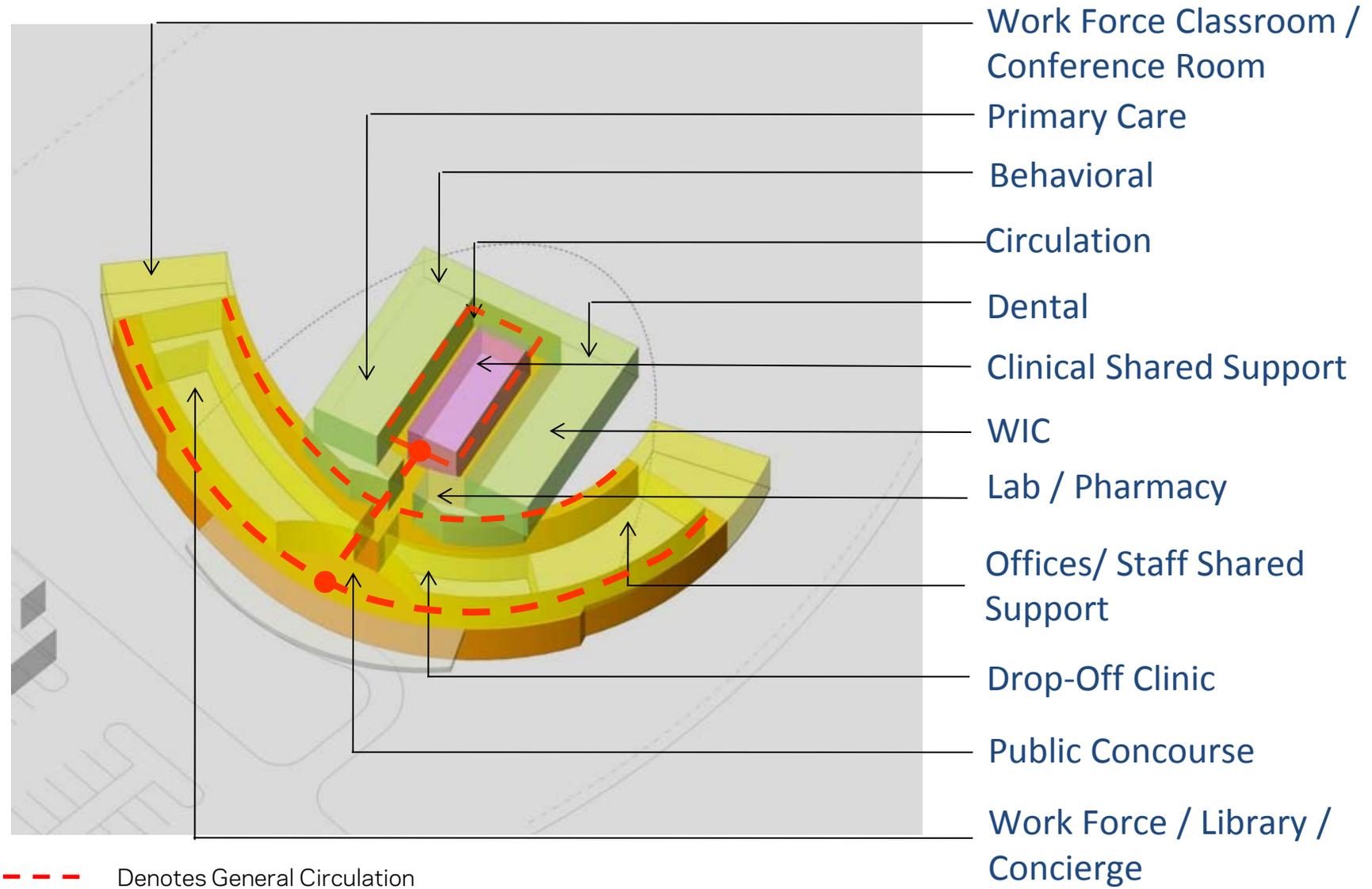
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Building design ideas were explored and discussed. Ideas focused on the Guiding Principals established early in the planning process.

Critical design issues of community, public and staff spaces related to service delivery and customer service were explored.

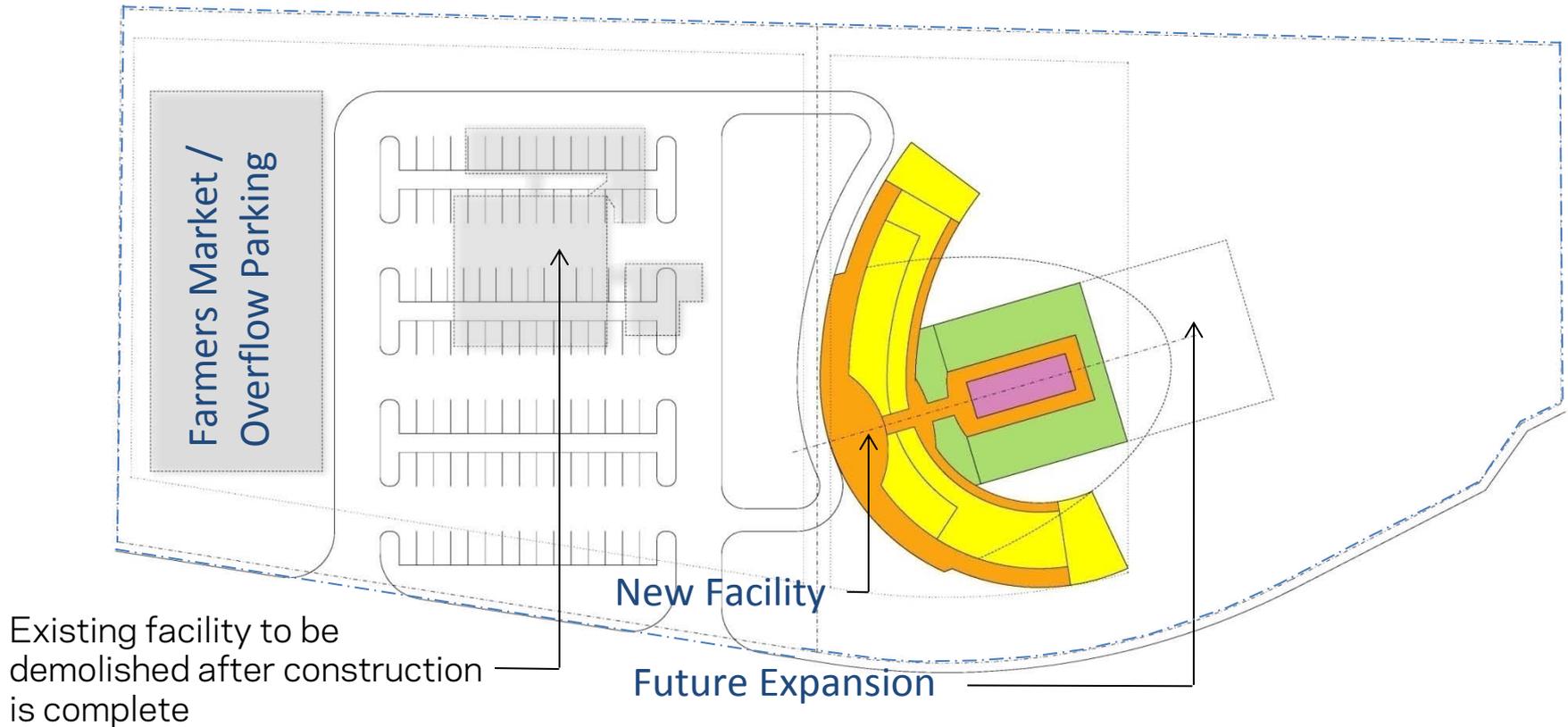
The following graphics exhibit a concept diagram showing general service component layout and adjacencies in diagrammatic form.

# Space Program - Service Components Blocking Diagram



# Site Concept - Existing + Adjacent Property

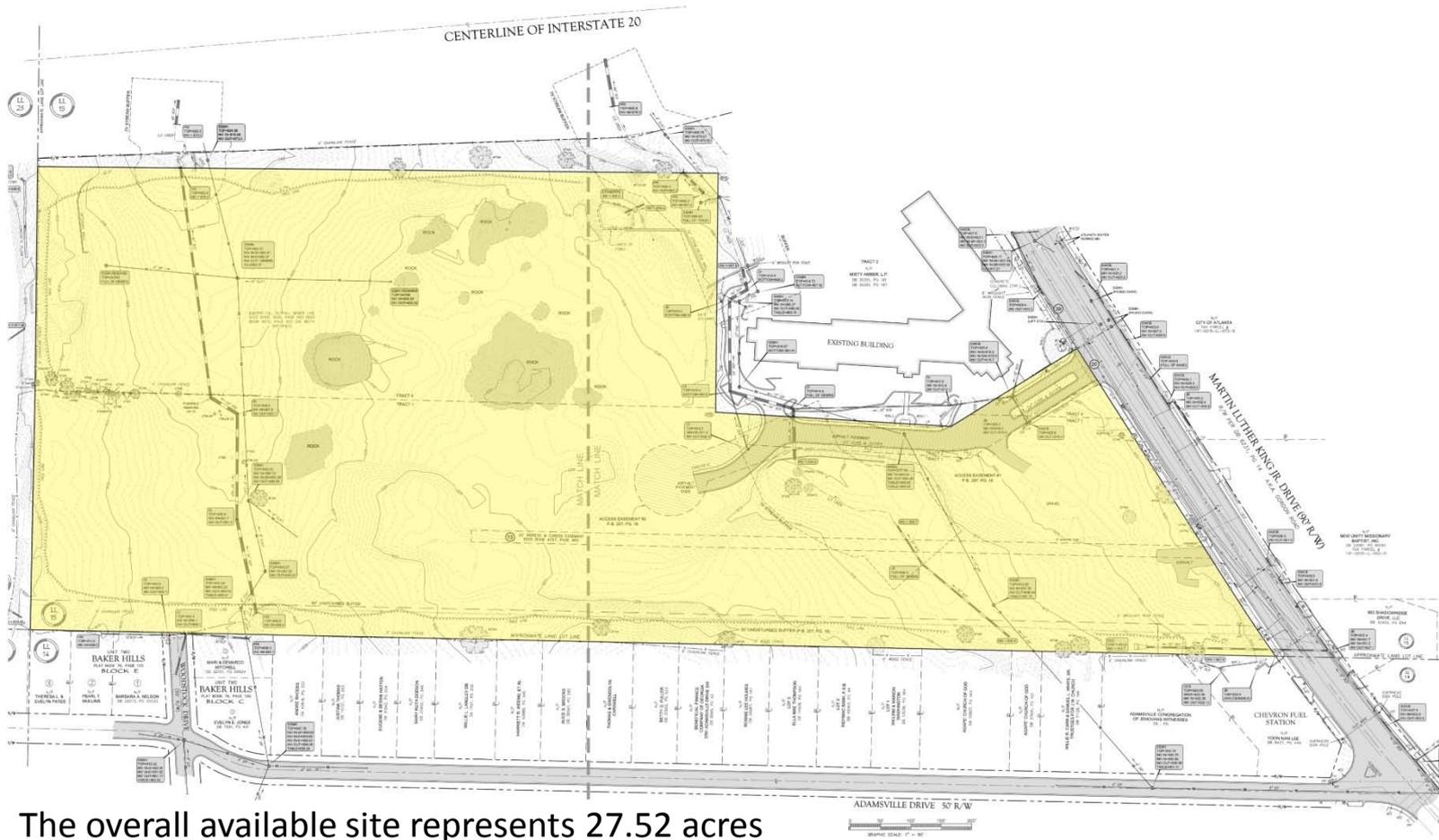
- Existing facility can remain open during construction.
- Accommodates required and additional parking.
- Room for future expansion and Farmers Market operation.
- Provides opportunity for an Integrated Public Plaza/Healing Garden.
- Public Concourse as main means of circulation.



# Site Study - MLK Property Analysis



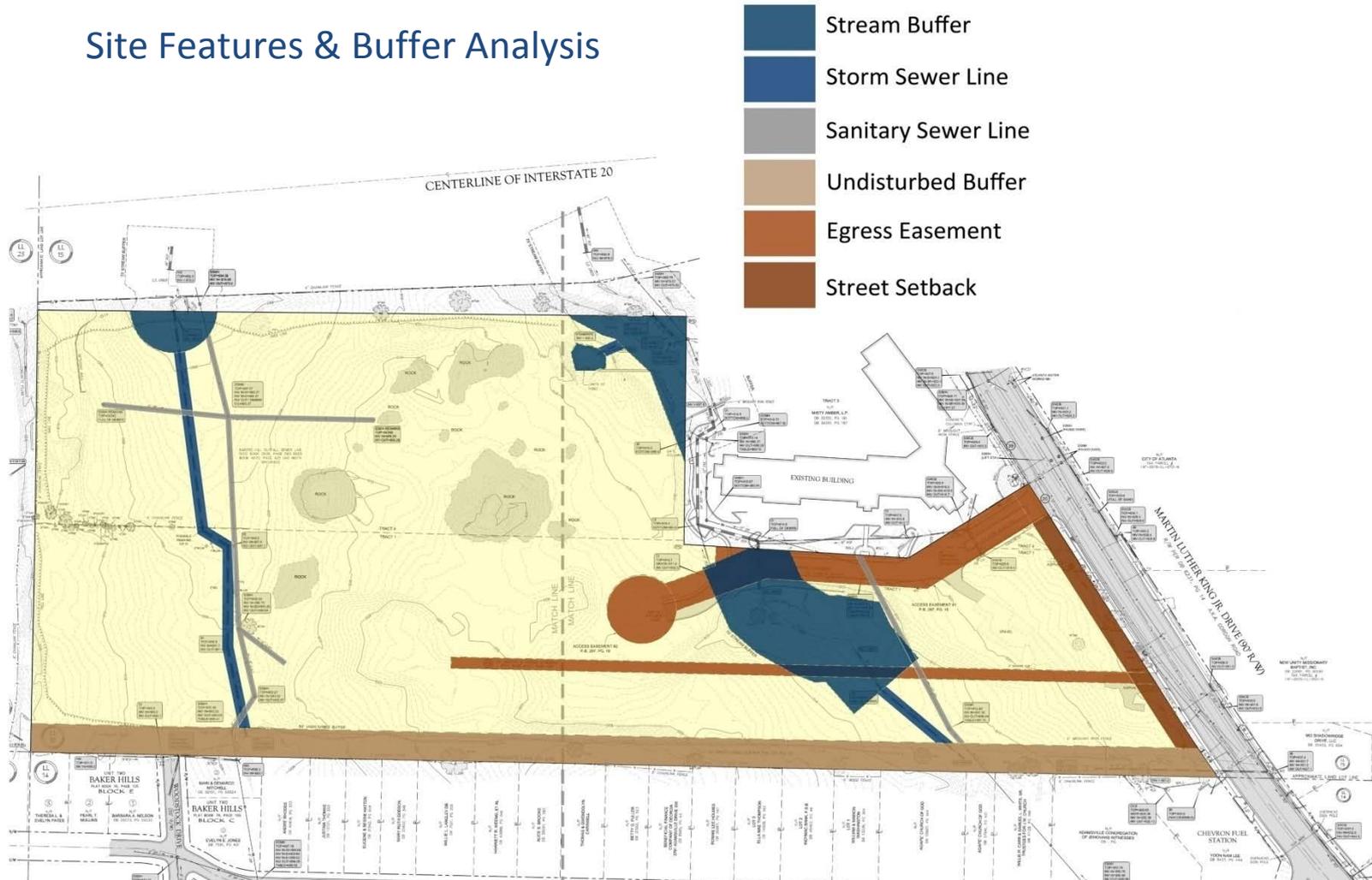
# Site Study - MLK Property Analysis



The overall available site represents 27.52 acres

# Site Study - MLK Property Analysis

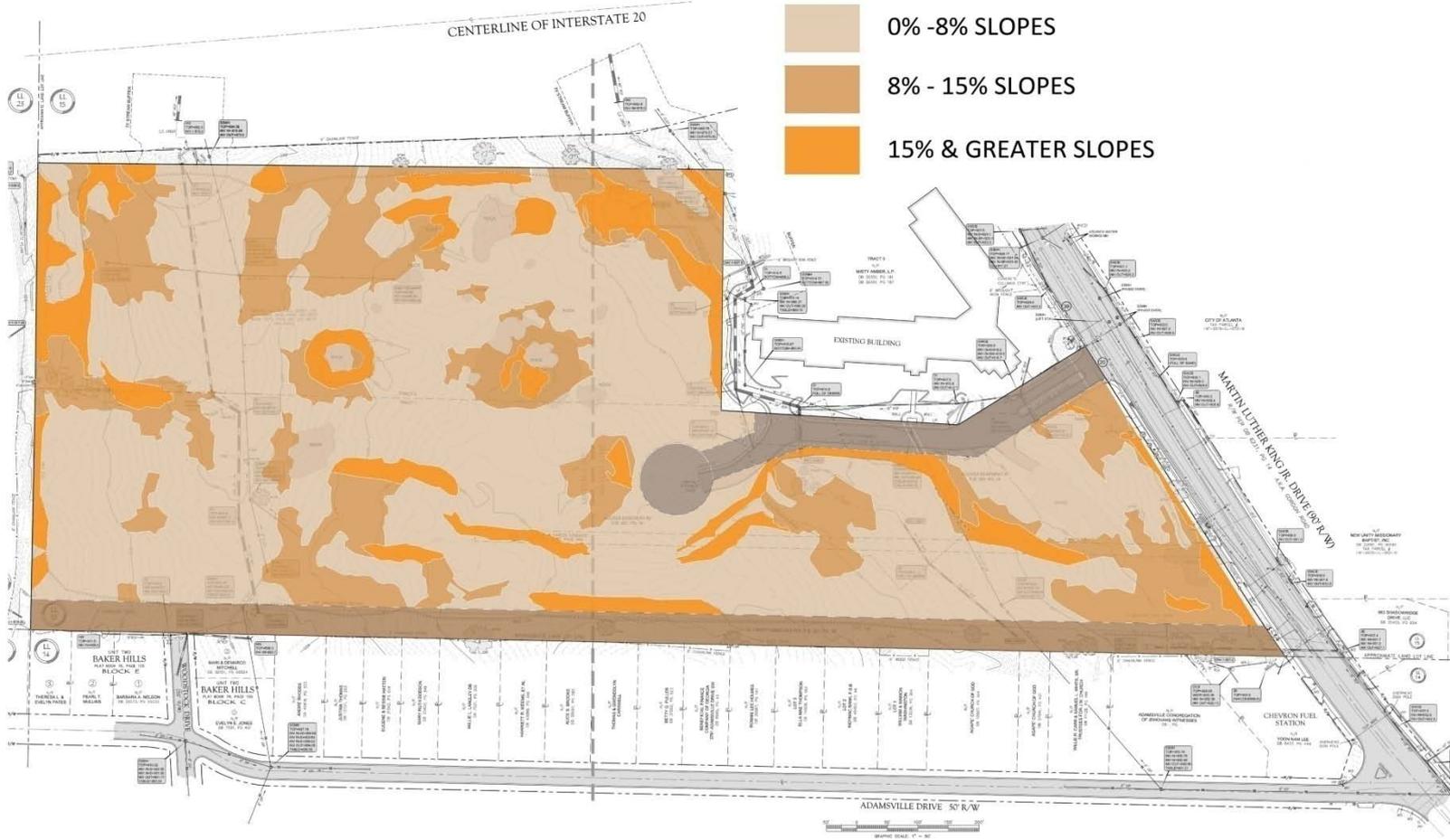
## Site Features & Buffer Analysis



The proposed **National Heritage Academy** would utilize approximately 8 acres. **ANDP** would utilize 8-10 acres for Multi-family Residential with a development density of approximately 20-25 units per acre.

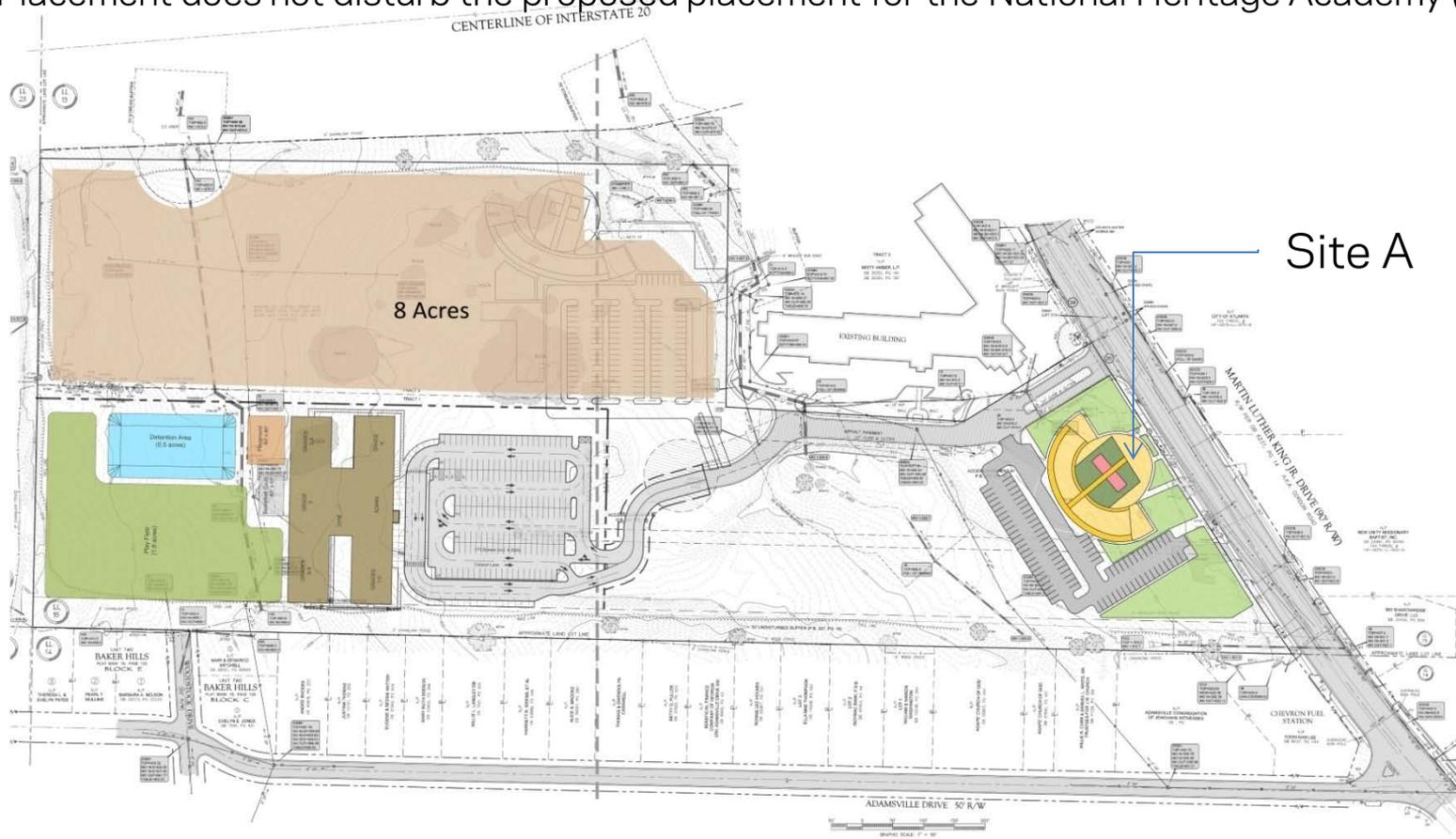
# Site Study - MLK Property Analysis

## Slope Analysis



# Site Study - MLK Property Site A

- Strong Street frontage along Martin Luther King Jr. Drive
- Excellent proximity to the Martin House
- Placement allows for 8-10 acres as requested by ANDP
- Placement allows for creating a strong edge of built structures over time by phased development
- Placement does not disturb the proposed placement for the National Heritage Academy (NHA)



# Site Study - MLK Property Site B

- Excellent proximity to the Martin House
- Excellent proximity to proposed National Heritage Academy (NHA)
- Room for growth / expansion
- Placement will allow for 8-10 acres as requested by ANDP
- Placement does not disturb the proposed placement for the National Heritage Academy (NHA)

